

Chapter 11.25 Parking and Loading

Sections:

11.25.010	Purpose
11.25.020	Applicability
11.25.030	General Provisions
11.25.040	Parking Space Requirements
11.25.050	Parking Reductions
11.25.060	Parking In-Lieu Fee
11.25.070	Location of Required Parking
11.25.080	Bicycle Parking
11.25.090	Off-Street Loading
11.25.100	Design Standards for Parking Lots
11.25.110	Parking for Temporary Uses and Special Events
11.25.120	Parking and Storage of Recreational Vehicles

11.25.010 Purpose

The purposes of the parking and loading regulations are to:

- A. Ensure that adequate off-street parking and loading facilities are provided for new land uses and for alterations and enlargements of existing uses.
- B. Contribute to a balanced transportation system with a choice of transit, bicycle, pedestrian, and private automobile modes.
- C. Encourage the use of bicycles by providing safe and convenient places to park bicycles.
- D. Facilitate the development of common parking areas that serve multiple establishments or uses.
- E. Offer flexible means of minimizing the amount of area devoted to motor vehicle parking by allowing reductions to the number of required spaces for land uses with lower parking demand characteristics and for shared parking facilities serving uses with different peak demand times.
- F. Provide safe and orderly circulation, loading, unloading, and parking within parking areas, and minimize conflicts between pedestrian and vehicular circulation.
- G. Ensure that parking and loading facilities are designed with adequate landscaping, screening, and buffering in order to improve and soften their appearance, provide shade, and buffer surrounding land uses from potential impacts.

11.25.020 Applicability

The requirements of this chapter apply to the establishment, alteration, expansion, or change of any use or structure, as provided in this section.

- A. **New Buildings and Land Uses.** On-site parking shall be provided according to the provisions of this chapter at the time any main building or structure is erected or any new land use is established.
- B. **Reconstruction, Expansion and Change in Use of Existing Non-Residential Buildings.**

1. Changes in use or expansions of floor area resulting in three or fewer additional parking spaces are exempt from having to provide additional parking so long as all handicap accessible parking requirements are met. All expansions within a five year period shall count towards the cumulative total of three additional parking spaces.
 2. Expansions in use or floor area up to 25 percent but resulting in less than 15 additional parking spaces shall provide for the additional on-site parking or loading spaces pursuant to Table 11.25.040. The existing parking may be maintained, and only the additional parking shall be subject to the requirements of Section 11.25.100; Design Standards for Parking Lots.
 3. Changes in use resulting in four or more additional parking spaces or expansions in use or floor area greater than 25 percent or more than 15 parking spaces shall require both the existing parking and additional parking to meet the standards of Section 11.25.100; Design Standards for Parking Lots. A change in occupancy is not considered a change in use unless the new occupant is in a different use classification than the former occupant.
- C. **Alterations that Increase the Number of Dwelling Units.** The creation of additional dwelling units through the alteration of an existing building or construction of an additional structure or structures requires the provision of on-site parking to serve the new dwelling units. This requirement does not apply when sufficient on-site parking exists to provide the number of spaces required for both the existing and new dwelling units.
- D. **Bicycle Parking.** Bicycle parking shall be required pursuant to Section 11.25.080; Bicycle Parking.
- E. **When Constructed.** On-site parking facilities including bicycle parking required by this chapter shall be constructed or installed prior to the issuance of a Certificate of Occupancy for the uses that they serve.

11.25.030 General Provisions

- A. **Existing Parking and Loading to be Maintained.** No existing parking or loading serving any use may be reduced in amount or changed in design, location or maintenance below the requirements for such use, unless equivalent substitute parking or loading facilities are provided and approved by the Planning Director.
- B. **Use of Required Parking Spaces.** Required off-street parking areas shall be used exclusively for the temporary parking of vehicles and shall not be used for the sale, lease, display, repair, or storage of vehicles, trailers, boats, campers, mobile homes, merchandise, or equipment, or for any other use, unless specifically authorized by another provision of this Code.
- C. **Non-conforming Parking or Loading.** An existing use of land or structure shall not be deemed to be non-conforming solely because of a lack of parking or loading facilities required by this chapter, provided that facilities used for parking and loading as of the date of adoption of this Code are not reduced in number to less than that required by this chapter.
- D. **Accessibility.** Parking must be accessible for its intended purpose during all business hours.
- E. **Maintenance of Required Parking Spaces.** No garage, carport, or other designated parking area may be converted to another use unless the converted parking spaces are replaced with on-site parking that meets all requirements of this chapter.

11.25.040 Parking Space Requirements

Off-street motor vehicle parking shall be provided according to the ratios prescribed in Table 11.25.040, Required Off-Street Parking Spaces, and according to the following provisions for calculation of required spaces.

- A. **Calculation of Required Spaces.** The number of required parking spaces shall be calculated according to the following rules:
1. **Fractions.** If the calculation of required parking or loading spaces results in the requirement of a fractional space, such fraction, if one-half (0.5) or greater, shall be considered one additional space; if the fraction is less than one-half (0.5), it shall result in no additional required spaces.
 2. **Gross Floor Area.** Where an on-site parking or loading requirement is stated as a ratio of parking spaces to area, the area is assumed to be gross floor area (which includes interior walls) unless otherwise stated.
 3. **Employees.** Where an on-site parking or loading requirement is stated as a ratio of parking spaces to employees, the number of employees shall be based on the largest shift that occurs in a typical week.
 4. **Bedrooms.** Where an on-site parking requirement is stated as a ratio of parking spaces to bedrooms, any rooms having the potential of being a bedroom and meeting the standards of the California Building Code as a sleeping room shall be counted as a bedroom.
 5. **Students or Clients.** Where a parking or loading requirement is stated as a ratio of parking spaces to students (including children in day care), the number is assumed to be the number of students or clients at the State-certified capacity, or at Building Code Occupancy where no State certification is required.
 6. **Seats.** Where parking requirements are stated as a ratio of parking spaces to fixed seats, each 24 inches of bench-type seating at maximum seating capacity is counted as one seat.
- B. **Sites with Multiple Uses.** If more than one use is located on a site, the number of required off-street parking spaces shall be equal to the sum of the requirements calculated separately for each use unless a reduction for shared parking is approved pursuant to Subsection 11.25.050(C), Shared Parking.
- C. **Uses Not Specified.** The parking requirement for any use not listed in Table 11.25.040, the Zoning Administrator shall establish the parking requirement based on the particular characteristics of the proposed use, and any other relevant data regarding parking demand. The Zoning Administrator may require the applicant to submit parking studies or any other information needed to assess parking demand for the proposed project. Where a Conditional Use Permit or Minor Use Permit is required for the use, the decision-making authority shall establish the parking requirement based on the parking study and other information in the record as part of the review process.
- D. **Minimum Number of Required Spaces.** For each land use, applicant shall be provided at least the number of off-street motor vehicle parking spaces stated in Table 11.25.040, Required Off-Street Parking Spaces.

TABLE 11.25.040: REQUIRED OFF-STREET PARKING SPACES	
Use Classification	Required Parking Spaces
Residential Uses	
Residential Housing Types	See subclassifications below.
<i>Duplex</i>	1 space per unit
<i>Multi-unit residential</i>	1 space per studio unit or 1-bedroom unit, 2.0 spaces per 2+ bedroom unit. Multi-unit housing for senior citizens: 0.75 spaces per unit. Guest parking shall be provided at a minimum of 1 space per 10 units with a minimum of 2 guest spaces per project.
<i>Accessory Dwelling Unit</i>	1 space per unit or bedroom, whichever is less. 0 spaces required if the unit is within half-mile of public transit; is within a historic district; is part of the proposed or existing primary residence or an accessory structure, including a garage; when off-street parking permits are required but are not offered to the accessory dwelling unit tenants; or if there is a car-share vehicle within one block.
<i>Junior Accessory Dwelling Unit</i>	0 spaces required
<i>Single-Unit Dwelling, Attached or Detached</i>	1 space per unit Within Valley Growth Boundary, residential subdivisions that do not have on street parking that can be used for guests (i.e. six pack and cluster developments) shall incorporate guest parking areas into the design of the subdivision. Guest parking shall be provided at 1 space per 10 units with a minimum of 2 spaces.
Caretaker Residence	1 space per caretaker residence
Elderly and Long-term Care	1 space per 4 beds + 1 space per employee
Family Day Care	See subclassifications below.
<i>Small</i>	None beyond that required for the residential unit
<i>Large</i>	1 space per non-resident employee + 1 passenger loading space
Boarding Facility	1 space per bedroom
Mobile Home Parks	2 spaces per manufactured home space
Residential Care Facilities	See subclassifications below.
<i>Residential Care, General</i>	1 space per 4 beds + 1 space per employee
<i>Residential Care, Limited</i>	None beyond that required for the residential unit
Single Room Occupancy	1 space per unit
Public and Semi-Public Uses	
Colleges and Trade Schools, Public or Private	1 space per employee plus 10 spaces for each classroom.
Community Assembly	1 space per 5 permanent seats in assembly areas, or 1 space per 50 sq ft of assembly area where no fixed seats. Plus 1 per classroom or office
Cultural Institutions	See sub classifications below

TABLE 11.25.040: REQUIRED OFF-STREET PARKING SPACES	
<i>Use Classification</i>	<i>Required Parking Spaces</i>
<i>Theaters and Auditoriums</i>	Theaters and auditoriums: 1 space per 5 permanent seats in assembly areas, or 1 space per 50 sq ft of assembly area where no fixed seats, whichever is less.
<i>Libraries and Museums</i>	1 space per 400 sq ft of public display area
<i>Other Cultural Institutions</i>	As determined as part of the Design Review Permit or Zoning Administrator.
Day Care Centers	1 space per employee+ 1 space per 10 children or clients
Emergency Shelter	1 space per employee+ 1 space per 10 beds for persons 16 years and older.
Government Offices	1 space per 350 sq ft
Hospitals and Clinics	<i>See subclassifications below.</i>
<i>Clinic</i>	1 space per 250 sq ft, or 4 spaces per doctor, whichever is greater
<i>Hospital</i>	1 space per bed plus 1 space per 500 sq ft of office, physical therapy, laboratory, or clinic area.
Park and Recreation Facilities, Public	<i>See subclassifications below.</i>
Schools, Public or Private	Kindergarten and nursery schools: 1 space per employee+ 1 space per 10 children. Elementary and junior high schools: 1 space per employee+ 2 spaces per classroom. High schools: 1 space per employee+ 7 spaces per classroom.
Commercial Uses	
Animal Care, Sales, and Services	<i>See subclassifications below.</i>
<i>Grooming and Pet Stores</i>	1 space per 300 sq ft
<i>Kennels</i>	1 space per employee+ 2 space for loading/unloading animals
<i>Veterinary Services</i>	1 space per 250 sq ft of gross floor area
Vehicle Sales and Services	<i>See subclassifications below.</i>
<i>Vehicle Rental, Sales and Leasing</i>	Sales and leasing: 1 space per employee+ 1 space per 2,000 sq ft of lot and building area used for the display or storage of automobiles. Vehicle repair: 2 spaces per service bay.
<i>Vehicle Repair, Major</i>	2 spaces per service bay
<i>Vehicle Service and Repair, Minor</i>	2 spaces per service bay
<i>Large Vehicle and Equipment Sales, Service, and Rental</i>	Sales and rental: 1 space per employee+ 1 space per 3,000 sq ft of lot and building area used for the display or storage of vehicles and equipment. Service and repair: 2 spaces per service bay.
<i>Service Station</i>	2 spaces per service bay if service bays included on site+ 1 space per 250 sq ft of any retail or office on site.

TABLE 11.25.040: REQUIRED OFF-STREET PARKING SPACES	
<i>Use Classification</i>	<i>Required Parking Spaces</i>
Banks and Financial Institutions	1 space per 250 sq ft (If administrative offices only, with no customer service facilities: 1 space per 300 sq ft)
Bars and Drinking Establishments	1 space per 100 sq ft
Business Services	1 space per 300 sq ft
Indoor Entertainment and Recreation	<i>See subclassifications below.</i>
<i>Amusement Arcades</i>	1 per 250 sq ft plus as required for other uses
<i>Archery and Shooting Ranges</i>	1 per stall plus 1 per employee and as required for other uses
<i>Billiard Parlors</i>	2 per table plus as required for other uses
<i>Bowling Alleys</i>	4 per lane plus as required for other uses
<i>Card Rooms</i>	1 per 3 seats plus as required for other uses
<i>Cinemas, Theaters, and Concert Halls</i>	1 space per 5 permanent seats or per 50 sq ft of assembly area if no fixed seats.
<i>Dance Halls, Ballrooms and Incidental Dancing Areas</i>	1 per 100 sq ft of dance area
<i>Health Clubs, Fitness Centers, Gyms, and Athletic Clubs</i>	1 space per 300 sq ft of area devoted to exercise machines, weights, or similar apparatus; plus 1 per game court; 1 per 50 sq ft of open exercise area; 1 per office space, 1 per tanning or massage room; and 1 per 500 sq ft of pools, spas and other areas.
<i>Skating Rinks</i>	1 per 150 sq ft of rink area plus as required for other uses
<i>Tennis and Racquetball Facilities</i>	2 per court plus as required for other uses
<i>Other Indoor Entertainment and Recreation</i>	As determined by the Design Review Permit, Use Permit or Zoning Administrator
Outdoor Entertainment and Recreation	
<i>Amphitheater</i>	1 space per 5 permanent seats or per 50 sq ft of assembly area if no fixed seats
<i>Archery and Shooting Ranges</i>	1 per stall plus 1 per employee and as required for other uses
<i>Batting Cages and Driving Range</i>	1.5 per batting stand or tee
<i>Campgrounds</i>	1.5 spaces per campsite. Group sites shall provide additional spaces based on occupancy as determined by Zoning Administrator
<i>Golf Courses</i>	6 per hole plus as required for other uses
<i>Hunting and Fishing Clubs</i>	1 per 400 sq ft of lodge area. Clubs without lodges shall be parked as determined by the Zoning Administrator

TABLE 11.25.040: REQUIRED OFF-STREET PARKING SPACES	
<i>Use Classification</i>	<i>Required Parking Spaces</i>
<i>Tennis and Racquetball Facilities</i>	2 per court plus as required for other uses
<i>Swimming Pools</i>	1 per 500 square feet of pool or spa area plus as required for other uses
<i>Other Outdoor Entertainment and Recreation</i>	As determined by the Design Review Permit, Use Permit or Zoning Administrator
Food and Beverage Sales	<i>See subclassifications below.</i>
<i>General Market</i>	1 space per 300 sq ft
<i>Liquor Stores</i>	1 space per 300 sq ft
Food Preparation	1 space per 1,000 sq ft of production and storage areas+ 1 space per 300 sq ft of office area
Funeral Parlors and Internment Services	1 space per 5 permanent seats in assembly area, or 1 space per 50 sq ft of assembly area where no fixed seats
Instructional Services	1 spacer per 300 sq ft
Lodging (all subclassifications)	1 space per room for rent+ 1 space per two employees
Maintenance and Repair Services	1 space per 500 sq ft
Offices	<i>See subclassifications below.</i>
<i>Business and Professional</i>	1 space per 300 sq ft
<i>Medical and Dental</i>	Dental and medical clinics and offices: 1 space per 200 sq ft, or 4 spaces per doctor, whichever is greater
Personal Services (all subclassifications)	1 space per 300 sq ft
Restaurant	1 space per 100 sq ft
Retail Sales	<i>See subclassifications below.</i>
<i>Building Materials and Services</i>	1 space per 500 sq ft of indoor area; 1 space per 1,000 sq ft of outdoor display area
<i>Convenience Retail</i>	1 space per 300 sq ft
<i>General Retail</i>	General retail stores: 1 space per 300 sq ft Retail stores that handle only bulky merchandise such as furniture and large household appliances: 1 space per 500 sq ft
<i>Large-Format Retail</i>	1 space per 300 sq ft
<i>Neighborhood and Community Shopping Centers (4 or more tenant spaces on a single or multiple parcel that have shared parking and access)</i>	1 space per 200 sq ft
<i>Rural Commercial (Retail, office, or restaurant uses)</i>	
<i>7-3 tenants with shared parking</i>	1 space per 325 sq ft
<i>4 or more tenants with shared parking</i>	1 space per 500 sq ft
<i>All other uses per classification listed in table</i>	

TABLE 11.25.040: REQUIRED OFF-STREET PARKING SPACES	
<i>Use Classification</i>	<i>Required Parking Spaces</i>
<i>Nurseries and Garden Centers</i>	1 space per 300 sq ft indoor retail/office area plus 1 space per 500 sq ft of indoor plant display and 1 space per 2,500 sq ft of outdoor display area accessible to the public.
Industrial Uses	
Custom Manufacturing	1 space per 1,000 sq ft+ 1 space per 300 sq ft of office area
General Industrial	1 space per 1,500 sq ft+ 1 space per 300 sq ft of office area
Intensive Industrial	1 space per 1,500 sq ft+ 1 space per 300 sq ft of office area
Limited Industrial	1 space per 1,500 sq ft+ 1 space per 300 sq ft of office area
Recycling Facility	<i>See subclassifications below.</i>
<i>Recycling Collection Facility</i>	Minimum 2 space.
<i>Recycling Processing Facility</i>	1 space per employee + 1 space for loading and 1 space per company vehicle
Research and Development	1 space per 1,500 sq ft+ 1 space per 300 sq ft of office area
Salvage and Wrecking	1 space per employee+ 1 space per company vehicle
Warehousing, Storage, and Distribution	<i>See subclassifications below.</i>
<i>Chemical, Mineral, and Explosives Storage</i>	1 space per employee + 1 space per company vehicle
<i>Outdoor Storage</i>	1 space per employee+ 1 space per company vehicle
<i>Personal Storage</i>	1 per 350 sq ft of office/retail area + 4 customer spaces; 2 spaces for caretaker unit
<i>Indoor warehousing, Wholesaling and Distribution</i>	1 space per 300 sq ft of office space+ 1 space per 2,000 sq ft of floor area devoted to warehousing, wholesaling, and distribution uses up to 10,000 sq ft; 1 space per 5,000 sq ft devoted to such uses over 10,000 sq ft+ 1 space per company vehicle
Transportation, Communication, and Utilities Uses	
Freight/Truck Terminals and Warehouses	1 space for each 2 employees
Light Fleet-based Services	1 per 300 sq ft of office area + 1 space per company vehicle
Utilities, Major	1 per employee in addition to any spaces for vehicles used in connection with the use
Utilities, Minor	None
Solar and Wind Energy Systems	Staffed facilities: 1 per employee
Agricultural and Natural Resource Uses	
Agricultural Labor Housing	1 space per 4 beds for dorms; 1 space per individual unit
Agricultural Processing	1 space per 1,500 sq ft of enclosed production, warehousing, and storage areas+ 1 space per 300 sq ft of office area
Farm Machinery and Equipment, Sales and Services	1 space per 2,000 sq ft of lot and building area used for the display or storage of machinery and equipment. Repair: 1 spaces per service bay or per 500 sq ft of repair area, whichever is greater.

TABLE 11.25.040: REQUIRED OFF-STREET PARKING SPACES	
<i>Use Classification</i>	<i>Required Parking Spaces</i>
Farmers Markets	As determined by the Zoning Administrator
Feed and Farm Supply Store	1 space per 500 sq ft
Packing and Storage	1 per 2 employees or 1 per 2,000 sq ft of indoor area, whichever is greater.
Produce Stand	2 spaces per stand (may be unpaved)
Ranch Marketing	See subclassifications below
<i>Production and storage areas</i>	1 space per 2,500 sq ft
<i>Dining Facilities and Bake Shops with Seating</i>	1 space per 300 sq ft
<i>Retail and Office areas</i>	1 space per 500 sq ft
<i>Tasting Rooms</i>	1 space per 300 sq ft
<i>Special Events and Other Uses</i>	As determined by the Use Permit or Zoning Administrator

- E. **Specific Plan, Area Plan, and/or Community Plan Provisions.** A specific plan, area plan, or community plan may establish parking requirements based upon the characteristics of the area covered by the plan.

11.25.050 Parking Reductions

- A. **Motorcycle and Scooter Parking.** For any nonresidential use providing 20 or more off-street spaces, a maximum of two required off-street parking spaces per 20 vehicle spaces may be reduced in size or otherwise redesigned to accommodate parking for motorcycles and scooters. When provided, motorcycle and scooter parking must be identified by a sign. Motorcycle and scooter parking shall be counted concurrently as part of the minimum number of spaces required for the development.
- B. **Credit for On-Street Spaces.** On-street parking spaces located immediately adjacent to the frontage of properties in the NMX, DC, and CMX districts may be counted toward required off-street parking for non-residential uses. One on-street parking space may be substituted for each required off-street space. These provisions only apply to street frontages where on-street parking is allowed.
- C. **Shared Parking.** Where a shared parking facility serving more than one use will be provided, the total number of required parking spaces may be reduced (from the number that would be required if each use provided parking separately) with approval of a Waiver.
1. ***Findings for Approval.*** In order to approve a reduction in the total number of spaces for a shared parking facility, the decision making authority must find that:
 - a. The proposed shared parking to be provided will be adequate to serve each use;
 - b. The peak hours of use will not overlap or coincide to the degree that peak demand for parking spaces from all uses will be greater than the total supply of spaces;
 - c. Parking demand generated by the project will not exceed the capacity of or have a detrimental impact on the supply of on-street parking in the surrounding area;

- d. If required, a parking demand study prepared by an independent traffic engineering professional approved by the County supports the proposed reduction; and
 - e. If a shared parking facility will serve more than one property, a parking agreement has been prepared consistent with the provisions of Subsection 11.25.070(C), Off-Site Parking Facilities.
 - 2. **Conditions for Approval.** The decision-making authority may require additional documents, covenants, deed restrictions, or other agreements as it deems necessary to ensure that the required parking spaces provided are maintained and uses with similar hours and parking requirements as those uses sharing the parking facilities remain for the life of the project.
- D. **Other Parking Reductions.** Required parking for any use may be reduced through approval of a Waiver.
 - 1. **Findings for Approval.** The decision-making authority may only approve a parking reduction if it finds that:
 - a. Special conditions—including but not limited to the nature of the proposed operation; proximity to frequent transit service; transportation characteristics of persons residing, working, or visiting the site; or because the applicant has undertaken a transportation demand management program—exist that will reduce parking demand at the site below the level of the normal requirement;
 - b. The use will adequately be served by the proposed on-site parking;
 - c. Parking demand generated by the project will not exceed the capacity of or have a detrimental impact on the supply of on-street parking in the surrounding area; and
 - d. If required, a parking demand study prepared by an independent traffic engineering professional approved by the County supports the proposed reduction.
- E. **Parking Demand Study.** In order for the decision-making authority to evaluate a project's compliance with the required findings for approval, the Planning Director may require submission of a parking demand study prepared by an independent traffic engineering professional approved by the County that substantiates the basis for granting a reduction in required parking spaces.
- F. **Monitoring of TDM Programs.** Any project that is granted a parking reduction on the basis of transportation demand management (TDM) measures that will be incorporated to reduce parking demand shall submit an annual status report to the County. The report shall be in a manner prescribed by the Planning Director, and shall describe the implementation and maintenance of TDM measures and the parking demand generated by the project. Annual status reports will be reviewed to determine if property owners have implemented and/or maintained the TDM Program. County staff may request auditable documentation to determine compliance.

11.25.060 Parking In-Lieu Fee

If a parking assessment district has been established, a fee may be paid to the County in lieu of providing required parking within the district.

- A. **In-lieu Fee Amount.** The amount of the in-lieu fee shall be calculated and paid as set forth in a resolution of the Board of Supervisors.
- B. **Use of Funds.** In-lieu fees shall be used for programs to reduce parking impacts including, but not limited to, the costs of any of the following:

1. Off-street parking facilities, including acquisition, development, and maintenance of parking facilities located in the parking assessment district;
2. Mass transit equipment, including stock and attendant facilities serving the area in which the buildings for which the payments are made are located;
3. Transit or paratransit passes, coupons, and tickets to be made available at a discount to employees and customers and to promote and support incentives for employee ride-sharing and transit use; or
4. Transportation system management projects.

11.25.070 Location of Required Parking

- A. **Residential Uses.** Required parking for residential uses shall be located on the same lot as the dwelling served, or in an off-site parking facility as provided in Subsection (C).
- B. **Nonresidential Uses.** Required parking spaces serving non-residential uses shall be located on the same lot as the use they serve, or in an off-site parking facility as provided in Subsection (C).
- C. **Off-Site Parking Facilities.** A parking facility serving one or more uses may be located on a site other than the site of one or more such use(s) if a Minor Use Permit is approved and the standards of this subsection are met.
 1. **Location.** Any off-site parking facility must be located within 400 feet—or in the case of a residential use, within 100 feet—along an accessible walkway, of the principal entrance containing the use(s) for which the parking is required.
 2. **Parking Agreement.** A written parking agreement shall be submitted with the application for an off-site parking facility. The agreement shall be subject to review and approval by the County Counsel and shall subsequently be recorded in the County Recorder's Office. The parking agreement shall include the following.
 - a. A guarantee among the landowner for access to and use of the parking facility; and
 - b. A guarantee that the spaces to be provided will be maintained and reserved for the uses served for as long as such uses are in operation.

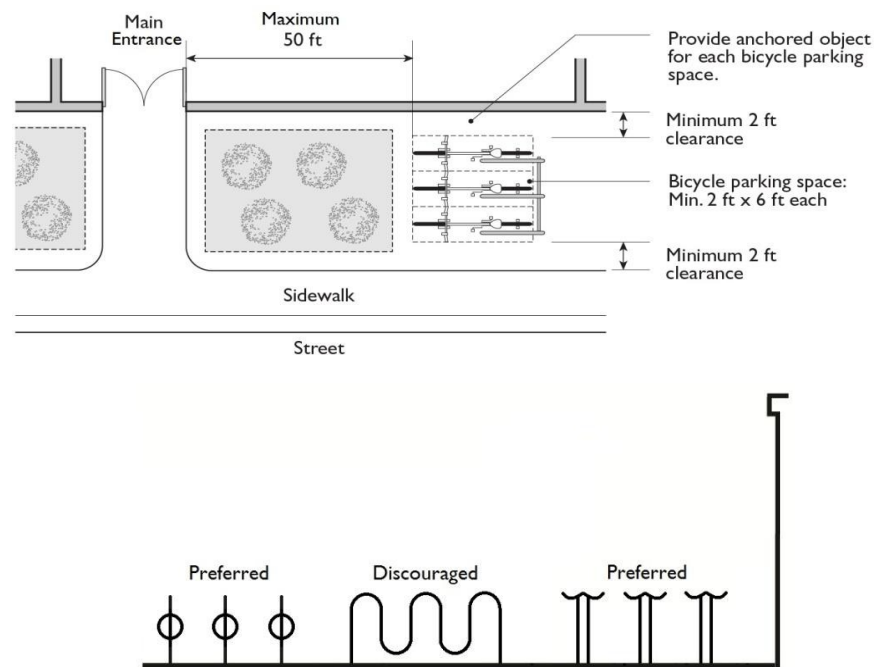
11.25.080 Bicycle Parking

Within the Valley Growth Boundary, parking for bicycles shall be provided according to the standards of this section in conjunction with the establishment of any new land use or building, as well as in conjunction with any change in use, alteration, or expansion.

- A. **Short-Term Bicycle Parking.** Short-term bicycle parking shall be provided in order to serve shoppers, customers, messengers, guests and other visitors to a site who generally stay for a short time.
 1. **Parking Spaces Required.** For the following uses, a minimum of one bicycle space shall be provided for every 10 automobile spaces for the first 200 automobile parking spaces required, and one bicycle parking space shall be required for every 100 automobile spaces over the first 200 automobile parking spaces required. A minimum of two bicycle parking spaces shall be required per establishment.

- a. Multi-unit Residential and Single Room Occupancy uses with four or more units. Outdoor bicycle parking requirements may be reduced by 50 percent for projects that provide at least one enclosed private garage space per dwelling unit.
 - b. Boarding Facilities and Agricultural Labor Housing with four or more separately rentable beds, bedrooms, or units.
 - c. All Public and Semi-Public uses except Cemetery.
 - d. All Commercial uses except Kennels, Food Preparation, Vehicle Sales and Services, and Lodging.
 - e. Transportation Passenger Terminals.
2. ***Bike Parking Plan for Large Entertainment and Recreation Facilities.*** Outdoor motor vehicle racing facilities, amphitheaters, entertainment facilities, or equestrian and rodeo facilities having an occupancy capacity in excess of 5,000 persons shall submit a proposed bicycle parking plan in conjunction with the required automobile parking plan for approval by the decision-making authority.
3. ***Location.*** Short-term bicycle parking must be located outside of the public right-of-way and pedestrian walkways and within 50 feet of a main entrance to the building or use it serves.
 - a. ***Shopping Centers.*** In a shopping center, bicycle parking must be located within 50 feet of an entrance to each anchor store. Bicycle parking shall be visible from the street or from the main building entrance, or a sign must be posted at the main building entrance indicating the location of the parking.
 - b. ***Mixed-Use Districts.*** Bicycle parking for establishments that abut the public sidewalk and are located in the CMX, DC, or NMX districts may be located within the public right-of-way, provided that an unobstructed sidewalk clearance of six feet is maintained for pedestrians at all times.
4. ***Anchoring and Security.*** For each short-term bicycle parking space required, a stationary, securely anchored object shall be provided to which a bicycle frame and at least one wheel can be secured with a high-security U-shaped shackle lock if both wheels are left on the bicycle. One such object may serve multiple bicycle parking spaces.
5. ***Size and Accessibility.*** Each short-term bicycle parking space shall be a minimum of two feet in width and six feet in length and shall be accessible without moving another bicycle. Two feet of clearance shall be provided between bicycle parking spaces and adjacent walls, poles, landscaping, street furniture, drive aisles, and pedestrian ways; at least five feet of clearance shall be provided from automobile parking spaces.

FIGURE 11.25.080: SHORT-TERM BICYCLE PARKING



- B. **Long-Term Bicycle Parking.** Long-term bicycle parking shall be provided in order to serve employees, students, residents, commuters, and other persons who generally stay at a site for four hours or longer.
1. **Parking Spaces Required.** Long-term bicycle parking spaces shall be provided at the following ratios.
 - a. *Nonresidential Uses.* Any individual establishment with 50 or more employees shall provide long-term bicycle parking at a minimum ratio of one bicycle space per 100 automobile spaces.
 - b. *Parking Structures.* Long-term bicycle parking shall be provided at a minimum ratio of one space per 50 vehicle spaces.
 2. **Location.** Long-term bicycle parking must be located on the same lot as the use it serves. In parking garages, long-term bicycle parking must be located near an entrance to the facility.
 3. **Security.** Long-term bicycle parking must be in:
 - a. An enclosed bicycle locker;
 - b. A fenced, covered, locked or guarded bicycle storage area; or
 - c. A rack or stand inside a building that is within view of an attendant or security guard or visible from employee work areas.
 4. **Size and Accessibility.** Each bicycle parking space shall be a minimum of two feet in width and six feet in length and shall be accessible without moving another bicycle. Two feet of clearance shall be provided between bicycle parking spaces and adjacent walls, poles,

landscaping, street furniture, drive aisles, and pedestrian ways and at least five feet from vehicle parking spaces.

11.25.090 Off-Street Loading

- A. **Loading Spaces Required.** Off street loading facilities shall be provided with all commercial and industrial development.
- B. **Location.** No loading facilities for vehicles over two-ton capacity shall be closer than 50 feet to any property in a residential district unless completely enclosed by building walls, or a uniformly solid fence or wall, or any combination thereof, not less than six feet in height.
- C. **Maneuvering Areas.** Truck-maneuvering areas shall not encroach into required parking areas, travel ways, or street rights-of-way. This requirement may be modified if the Zoning Administrator finds that sufficient space is provided so that truck-maneuvering areas will not interfere with traffic and pedestrian circulation.
- D. **Surfacing.** The loading area, aisles, and access drives shall be surfaced with asphaltic concrete of minimum thickness of two inches on six inches of Class II aggregate rock base.

11.25.100 Design Standards for Parking Lots

Parking areas shall be designed and developed consistent with the following standards.

- A. **Parking Areas Outside the Valley Growth Boundary**
 - 1. **Parking associated with a single family residence, or caretaker unit.** Parking spaces shall be located outside of any required setback and shall at a minimum be graded and improved with gravel.
 - 2. Parking associated with an accessory dwelling unit. Off-street parking for accessory dwelling units may be a tandem space in a driveway or off-street within setback areas provided in locations approved by the County. Tandem parking and the location of off-street parking within setback areas shall be approved by the county unless specific findings can be and are made that parking in setback areas or tandem parking is not feasible based on specific site or regional topographical or fire and life safety conditions.
 - 3. **Projects that require 10 or More parking Spaces.** Parking areas located outside the Valley Growth Boundary that require 10 or more parking spaces may request as part of project approval a reduction in the number of spaces that need to be paved and designed per the requirements listed in Section 11.25.100(B). The request shall be submitted with the initial project application and shall clearly identify the number of unpaved spaces being requested along with any other requested deviations to the standards listed in Section 11.25.100(B). All unpaved spaces shall meet the following standards.
 - a. *Surfacing.* Must be graded and improved with gravel.
 - b. *Dust Control.* All unpaved parking areas must have an active dust control program.
 - c. *Parking Space Dimensions.* The minimum dimension for a parking space is nine feet by 18 feet.

B. **Other Parking Areas.** All parking areas not addressed by Section 11.25.100.A shall be designed and developed consistent with the following standards.

1. **Surfacing.** Concrete or asphaltic surfacing of two inch minimum thickness on a four inch Class II aggregate rock base for residential uses, on a six inch Class II aggregate rock base for nonresidential uses.
2. **Drainage and Stormwater Control.** All parking areas shall be properly drained, consistent with the Yuba County Stormwater Quality Ordinance (Chapter 7.50, Stormwater Quality, of the County Code), Grading, Drainage and Erosion Control Ordinance (Chapter 11.23 of County Code), the requirements of the California State Water Resources Board's General Permit for Small MS4s, and subject to the approval of the Director of Public Works.
3. **Parking Space Dimensions.**
 - a. *Standard Parking Spaces.* The minimum dimension for standard parking spaces is nine feet by 18 feet.
 - b. *Compact Parking Spaces.* When 20 or more parking spaces are required, up to 30 percent of the total number of required spaces may be reduced in size to 16 feet in length and eight feet in width for the accommodation of compact cars. Such compact spaces shall be clearly indicated by appropriate markings and signage. Compact spaces should be dispersed through the parking lot.

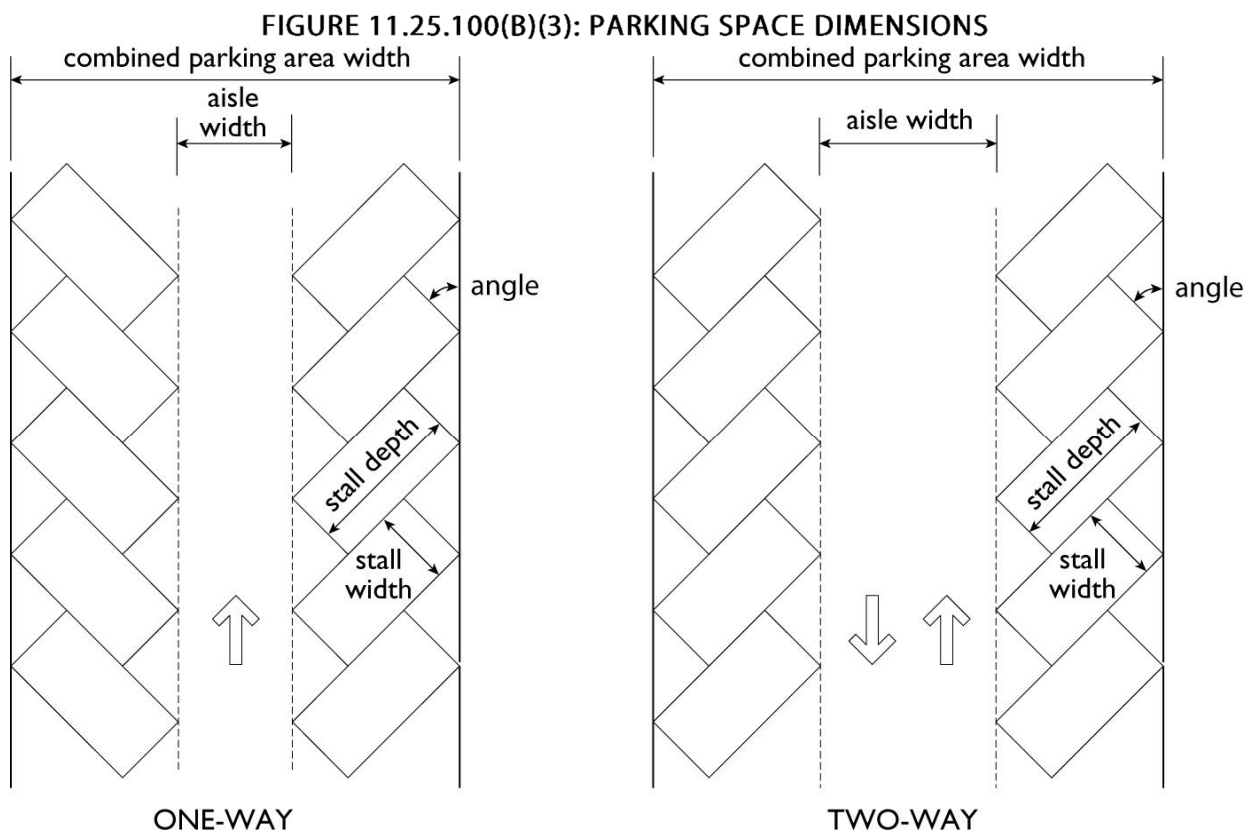


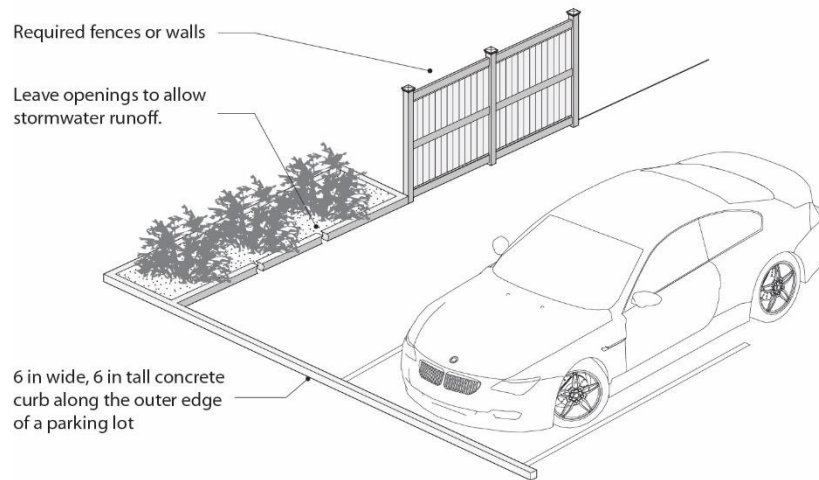
TABLE 11.25.100-B(3): MINIMUM ANGLED AND PARALLEL PARKING STALL DIMENSIONS				
Angle	Stall Width	Stall Depth	Aisle Width (2 way)	Aisle Width (1 way)
90°	9 ft	18 ft	25 ft	25 ft
60°	9 ft	18 ft	20 ft	18 ft
45°	9 ft	18 ft	20 ft	13 ft
30°	9 ft	18 ft	20 ft	11 ft
0° (parallel)	8 ft	22 ft	20 ft	12 ft
Compact Stalls: width 8 ft length 16 ft except parallel stalls 20 ft				

4. **Parking Access, Forward Entry.** Parking areas of four or more spaces shall be provided with suitable maneuvering room so that all vehicles therein may enter an abutting street in a forward direction.
5. **Tandem Parking.** Tandem parking may be permitted to satisfy the off-street parking requirement for a residential unit in accordance with the following.
 - a. Parking spaces for the primary residence shall be located outside any required setback area.
 - b. No more than two vehicles shall be placed one behind the other.
 - c. Both spaces shall be assigned to a single dwelling unit.
6. **On-Site Circulation, Safety, and Pedestrian Access.** Parking areas for commercial and mixed-use developments that are 80 feet or more in depth and/or include 50 or more parking spaces must have distinct and dedicated pedestrian access from the commercial use to parking areas and public sidewalks, according to the building code and following standards:
 - a. *Connection to Public Sidewalk.* An on-site walkway shall connect the main building entry to a public sidewalk on each street frontage. Such walkway shall be the shortest practical distance between the main building entry and sidewalk, generally no more than 125 percent of the straight-line distance unless grade controlled.
 - b. *Materials and Width.* Walkways shall provide at least four feet of unobstructed width and be hard-surfaced with an accessible material.
 - c. *Identification.* Pedestrian walkways shall be clearly differentiated from driveways, parking aisles, and parking and loading spaces through the use of elevation changes, a different paving material, truncated domes, or similar method.
 - d. *Separation.* Where a pedestrian walkway is parallel and adjacent to an auto travel lane, it must be raised and separated from the auto travel lane by a raised curb, bollards, truncated dome, or other physical barrier.
7. **Parking Lot Striping.** Parking stalls shall be clearly outlined with striping, and all aisles, approach lanes, and turning areas shall be clearly marked with directional arrows and lines as necessary to provide for safe traffic movement.
8. **Wheel Stops.** Concrete bumper guards or wheel stops shall be provided. A six-inch high concrete curb surrounding a landscape area at least six feet wide may be used as a wheel stop, provided that the overhang will not damage or interfere with plant growth or its irrigation. A

concrete sidewalk may be used as a wheel stop if the overhang will not reduce the minimum required walkway width.

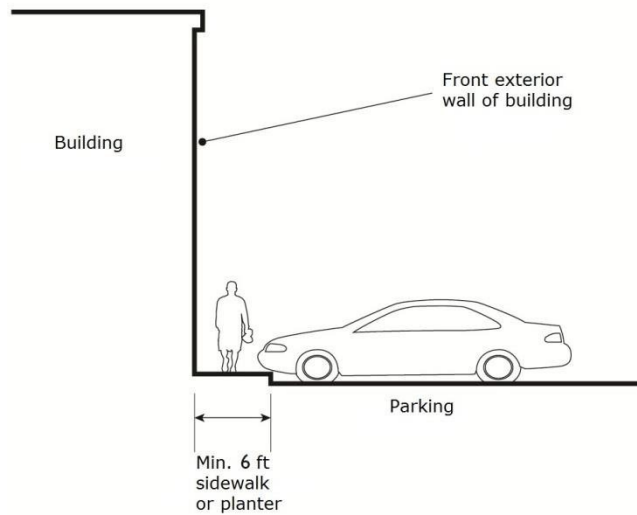
9. **Perimeter Curbing.** A six-inch wide and six-inch high concrete curb shall be provided along the outer edge of the parking facility pavement, except where said pavement abuts a fence or wall. Curbs separating landscaped areas from parking areas shall be designed to allow stormwater runoff to pass through where feasible.

FIGURE 11.25.100(B)(9): PARKING LOT PERIMETER CURBING



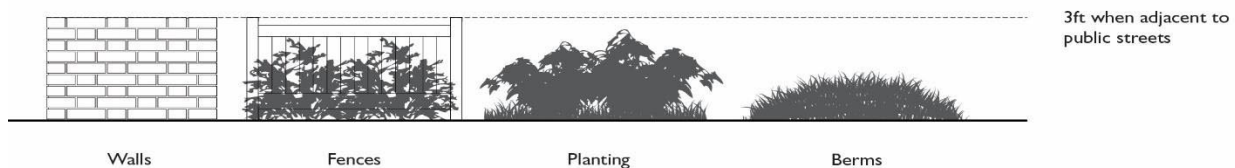
10. **Lighting.** Public parking areas shall be provided with a minimum of one-half foot-candle and a maximum of 3.0 foot-candles of light over of the parking surface during the hours of use from one-half hour before dusk until one-half hour after dawn.
 - a. Lighting design shall be coordinated with the landscape plan to ensure that vegetation growth will not substantially impair the intended illumination.
 - b. Parking lot lighting shall, to the maximum extent feasible, be designed and installed so that light and glare is not directed onto residential use areas or adjacent public rights-of-way, consistent with Chapter 11.26, Performance Standards.
11. **Separation from On-site Buildings.** Parking areas must be separated from the front walls of on-site buildings by walkways a minimum of six feet in width. These requirements do not apply to parking areas containing five or fewer spaces.

FIGURE 11.25.100(B)(11): PARKING LOT DESIGN—SEPARATION FROM ON-SITE BUILDINGS



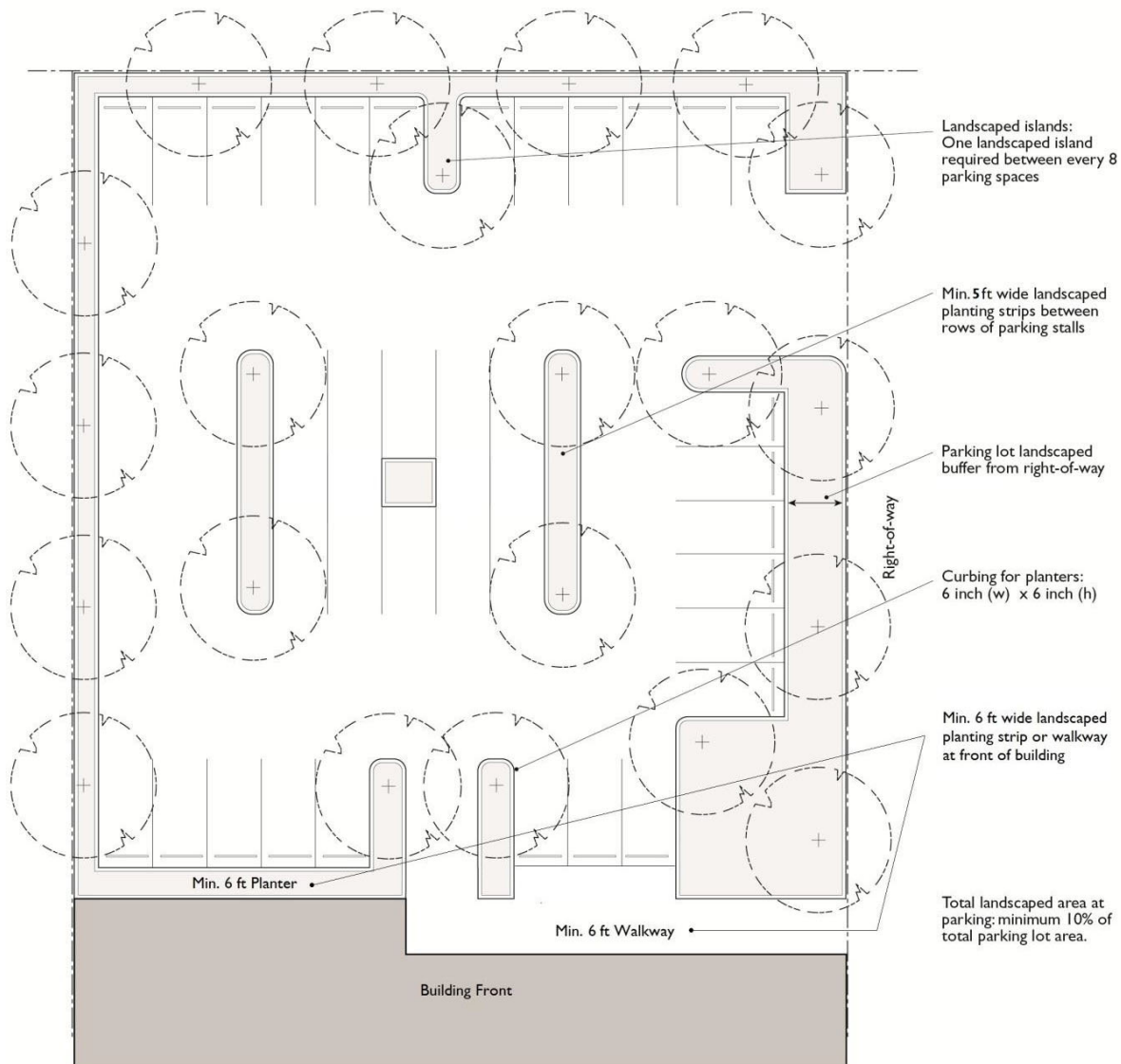
12. **Screening.** Parking areas shall be screened from view from public streets according to the following standards.
- a. **Height.** Screening of parking lots from adjacent public streets shall be three feet in height.
 - b. **Materials.** Screening may consist of one or any combination of the methods listed below.
 - i. **Walls.** Low-profile walls consisting of brick, stone, stucco, or other quality durable material approved by the Planning Director, and including a decorative cap or top finish as well as edge detail at wall ends. Plain concrete blocks are not allowed as a screening wall material unless capped and finished with stucco or other material approved by the Planning Director.
 - ii. **Fences.** An open fence of wrought iron or similar material combined with plant materials to form an opaque screen. This option does not include the use of chain-link or vinyl fencing.
 - iii. **Planting.** Plant materials consisting of compact evergreen plants that form an opaque screen. Such plant materials must achieve a minimum height of two feet within 18 months after initial installation.
 - iv. **Berms.** Berms planted with grass, ground cover, or other low-growing plant materials.

FIGURE 11.25.100(B)(12): PARKING LOT SCREENING



13. ***Parking Lot Landscaping.*** Landscaping of parking areas shall be provided and maintained according to the general standards of Chapter 11.24, Landscape, as well as the standards of this subsection. Planter widths are minimums, wider widths may be necessary to accommodate larger tree or plant species. All widths listed are interior widths. Smaller widths may be approved along perimeter areas if curb stops or concrete barriers are provided that prevent vehicles from overhanging into the planter or pedestrian walkway.
- a. *Landscape Area Required.* A minimum of 10 percent of any parking lot area shall be landscaped.
 - b. *Layout.* Landscaped areas shall be well-distributed throughout the parking lot area. Parking lot landscaping may be provided in any combination of:
 - i. Landscaped planting strips at least five feet wide between rows of parking stalls. Areas planted with trees shall be at least 6 feet wide;
 - ii. Orchard planters at least six feet wide;
 - iii. Landscaped planting strips at least six feet wide (between parking areas and adjacent buildings or internal pedestrian walkways;
 - iv. Landscaped islands located between parking stalls or at the ends of rows of parking stalls; and
 - v. On-site landscaping at the parking lot perimeter that is at least five feet in width.
 - c. *Required Landscaped Islands.* A landscaped island or orchard planter at least six feet in all interior dimensions and containing at least one tree from the Approved Tree List shall be provided at each end of each interior row of parking stalls and staggered throughout the parking field to obtain the minimum shade requirement. Unless an alternative plan is approved for parking areas utilizing solar/shade structures.
 - d. *Landscaped Buffer for Open Parking Adjacent to Right of Way.* A landscaped area at least ten feet wide shall be provided between any surface parking area and any property line adjacent to a public street unless a lesser dimension is approved through the Design Review permit where due to site constraints or consistency with community character a smaller buffer is approved. Within the landscaped area, there shall be at least one tree planted from the Approved Tree List for each 40 feet of street frontage.
 - e. *Shading.* Shade trees or shade structures shall provide a minimum 50 percent shading (at maturity, where trees are used)

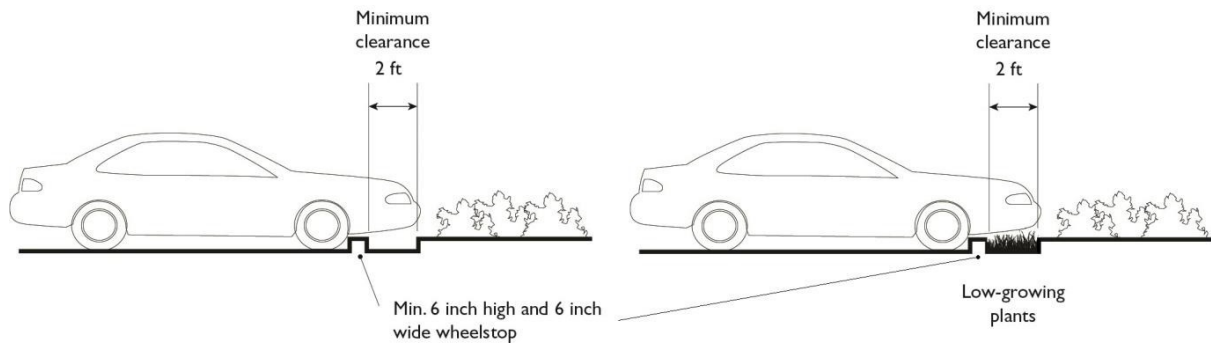
FIGURE 11.25.100(B)(13)(E): PARKING LOT LANDSCAPING



f. *Protection of Vegetation.*

- i. Clearance from Vehicles. All required landscaped areas shall be designed so that plant materials, at maturity, are protected from vehicle damage by providing a minimum two-foot clearance of low-growing plants where a vehicle overhang is permitted, or by wheel stops set a minimum of two feet from the back of the curb.
- ii. Planters. All required parking lot landscaping shall be within planters bounded by a concrete curb at least six inches wide and six inches high. Curbs separating landscaped areas from parking areas shall be designed to allow stormwater runoff to pass through if feasible.

FIGURE 11.25.100(B)(13)(F): PROTECTION OF VEGETATION



- g. *Visibility and Clearance.* Landscaping in planters at the end of parking aisles may not obstruct drivers' vision of vehicular and pedestrian cross-traffic. Mature trees shall have a foliage clearance maintained at eight feet from the surface of the parking area. Other plant materials located in the interior of a parking lot should not exceed 30 inches in height.

C. Alternative Parking Area Designs.

1. ***S/E District.*** In the S/E District, the Planning Commission may approve parking facility plans that allow for alternative standards for off-street parking facilities due to the intermittent nature of the events and variations in attendance. Proposals which include standards less than the required stall size and driving aisle shall include provisions for management of the facility by parking ushers. Proposals for alternative surfacing shall be based upon estimates for frequency of events and estimated average attendance per event and shall at the minimum provide for a low-traffic paving system for the estimated average number of vehicles. The remainder of the parking area shall, at the minimum, be seeded with a hardy, drought-resistant grass to provide a dust-controlling surface and shall be maintained to prevent ignition from parked vehicles.
2. ***Other Districts.*** Where an applicant can demonstrate to the satisfaction of the Zoning Administrator that variations in the dimensions otherwise required by this section are warranted in order to achieve environmental design objectives, an alternative parking area design may be approved.

- D. **Maintenance.** Parking lots, including landscaped areas, driveways, and loading areas, shall be maintained free of refuse, debris, or other accumulated matter and shall be kept in good repair at all times.

11.25.110 Parking for Temporary Uses and Special Events

Temporary, overflow parking may be utilized for special events and other temporary uses that are allowed by this Code. All temporary parking shall meet local fire department requirements. Where a Temporary Use Permit or other permit is required, the applicant shall demonstrate to the decision-making authority the ability to provide safe access and parking, including access road clearance for emergency vehicles, a dust control program, and the provision of attendants, if necessary to monitor proper parking and access road clearance for emergency vehicles.

11.25.120 Parking and Storage of Recreational Vehicles

Recreational vehicles, including travel trailers and boats, may not be parked or stored in a required front yard or street side setback area (excluding driveways). Recreational vehicles may be parked or stored in a driveway, side yard, or rear yard. Other regulations pertaining to recreational vehicles include:

- A. Parking within the public right of way shall only be for the purpose of loading or unloading, not to exceed 72 hours before or after a trip. The recreational vehicle may be used for purposes of accommodating visitors, not to exceed one week within any consecutive six-month period and shall be fully self-contained and shall not be parked within a public right of way or have any power cords or other items transversing the public right of way.